

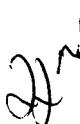


Comhairle Contae Chill Mhantáin Wicklow County Council

**Pleanáil, Forbairt Eacnamaíochta agus Tuaithe
Planning, Economic and Rural Development**

Áras An Chontae / County Buildings
Cill Mhantáin / Wicklow
Guthán / Tel. (0404) 20148
Faics / Fax (0404) 69462
Rphost / Email. plandev@wicklowcoco.ie
Suiomh / Website www.wicklow.ie

Brian & Rose McGrath
2 Seabank Terrace
Arklow
Co. Wicklow

 Of January 2026

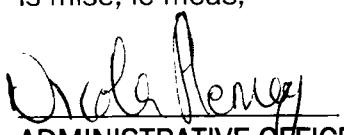
**RE: Declaration in accordance with Section 5 of the Planning & Development Acts
2000 (As Amended) -EX147/2025**

A Chara,

I enclose herewith Declaration in accordance with Article 5 (2) (A) of the Planning & Development Act 2000.

Where a Declaration is used under this Section any person issued with a Declaration under subsection (2) (a) may, on payment to An Coimisiún Pleanála of such fee as may be prescribed, refer a declaration for review by the Coimisiún within four weeks of the date of the issuing of the declaration by the Local Authority.

Is mise, le meas,


ADMINISTRATIVE OFFICER
PLANNING DEVELOPMENT & ENVIRONMENT.





Comhairle Contae Chill Mhantáin Wicklow County Council

Pleanáil, Forbairt Eacnamaíochta agus Tuaithe Planning, Economic and Rural Development

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DECLARATION IN ACCORDANCE WITH ARTICLE 5 (2) (A) OF THE PLANNING & DEVELOPMENT ACT 2000 AS AMENDED

Applicant: Brian & Rose McGrath

Location: 2 Seabank Terrace, Arklow, Co. Wicklow

Reference Number: EX 147/2025

CHIEF EXECUTIVE ORDER NO. CE/PERD/2026/64

A question has arisen as to whether "*the construction of a rear extension of 17.5sqm*" at 2 Seabank Terrace, Arklow, Co. Wicklow is or is not exempted development.

Having regard to:

- a) The details submitted with the Section 5 Declaration Application
- b) The layout and configuration of the main areas of private amenity space for the residential units in Seabank Terrace, which are staggered, with the location of main private open space serving No. 2 located 4m to the southwest and not to the rear.
- c) Sections 2, 3 and 4 of the Planning and Development Act 2000 (as amended)
- d) Article 6,9 and Class 1 and Class 50 of Schedule 2: Part 1 of the Planning and Development Regulations 2001(as amended)

Main Reasons with respect to Section 5 Declaration:

- (i) The demolition of the shed and construction of a rear extension a would come within the meaning of works as set out in Section 2 of the Planning and Development Act 2000(as amended)
- (ii) These works are development having regard to the provisions of Section 3 of the Planning and Development Act 2000(as amended)
- (iii) The demolition of the shed would come within the description and provisions of Class 50(a) of Part 1; Schedule 2 of the Planning and Development Regulations 2001 (as amended)
- (iv) The construction of a rear extension of 17sqm would come within the description set out in Class 1 of Part 1; Schedule 2 of the Planning and Development Regulations 2001 (as amended) . However, the extension would not meet the Limitation set out under Part 5 of that Class as the private open space to the rear would be reduced to less than 25sqm

The Planning Authority considers that "the construction of a rear extension of 17.5sqm" at 2 Seabank Terrace, Arklow, Co. Wicklow is development and NOT exempted development.

Signed:

ADMINISTRATIVE OFFICER
PLANNING DEVELOPMENT & ENVIRONMENT

Date: 22/01/2026



WICKLOW COUNTY COUNCIL

PLANNING & DEVELOPMENT ACTS 2000 (As Amended)
SECTION 5

CHIEF EXECUTIVE ORDER NO. CE/PERD/2026/64

Reference Number: EX 147/2025

Name of Applicant: Brian & Rose McGrath

Nature of Application: Section 5 Referral as to whether "*the construction of a rear extension of 17.5sqm*" at 2 Seabank Terrace, Arklow, Co. Wicklow is or is not development and is or is not exempted development.

Location of Subject Site: 2 Seabank Terrace, Arklow, Co. Wicklow

Report from: Edel Bermingham, T/SP

With respect to the query under Section 5 of the Planning & Development Act 2000 as to whether "*the construction of a rear extension of 17.5sqm*" at 2 Seabank Terrace, Arklow, Co. Wicklow is or is not exempted development within the meaning of the Planning & Development Act 2000 (as amended)

Having regard to:

- a) The details submitted with the Section 5 Declaration Application
- b) The layout and configuration of the main areas of private amenity space for the residential units in Seabank Terrace, which are staggered, with the location of main private open space serving No. 2 located 4m to the southwest and not to the rear.
- c) Sections 2, 3 and 4 of the Planning and Development Act 2000 (as amended)
- d) Article 6,9 and Class 1 and Class 50 of Schedule 2: Part 1 of the Planning and Development Regulations 2001(as amended)

Main Reasons with respect to Section 5 Declaration:

- (i) The demolition of the shed and construction of a rear extension a would come within the meaning of works as set out in Section 2 of the Planning and Development Act 2000(as amended)
- (ii) These works are development having regard to the provisions of Section 3 of the Planning and Development Act 2000(as amended)
- (iii) The demolition of the shed would come within the description and provisions of Class 50(a) of Part 1; Schedule 2 of the Planning and Development Regulations 2001 (as amended)
- (iv) The construction of a rear extension of 17sqm would come within the description set out in Class 1 of Part 1; Schedule 2 of the Planning and Development Regulations 2001 (as amended) . However, the extension would not meet the Limitation set out under Part 5 of that Class as the private open space to the rear would be reduced to less than 25sqm

Recommendation

The Planning Authority considers that "the construction of a rear extension of 17.5sqm" at 2 Seabank Terrace, Arklow, Co. Wicklow is development and is NOT exempted development as recommended in the planning reports.

Signed: Dale Denney Date: 19/01/2026

ORDER:

I HEREBY DECLARE:

That "the construction of a rear extension of 17.5sqm" at 2 Seabank Terrace, Arklow, Co. Wicklow is development and is NOT exempted development within the meaning of the Planning & Development Acts 2000 (as amended).

Signed: Dale Denney Date: 22/1/2026

T/Senior Planner

Planning, Economic & Rural Development

Section 5 Application EX 147/2025

Date : 15/01/2026

Applicant : Brian & Rose McGrath

Address : 2 Seabank Terrace, Arklow, Co. Wicklow. .

Exemption Whether or not :

The construction of a rear extension of 17.5sqm

constitutes exempted development within the meaning of the Planning and Development Acts, 2000(as amended).

Planning History :

N/A

Relevant legislation :

Planning and Development Act 2000 (as amended)

"structure" means any building, structure, excavation, or other thing constructed or made on, in or under any land, or any part of a structure so defined, and—

(a) where the context so admits, includes the land on, in or under which the structure is situate, and

(b) in relation to a protected structure or proposed protected structure, includes—

- (i) the interior of the structure,
- (ii) the land lying within the curtilage of the structure,
- (iii) any other structures lying within that curtilage and their interiors, and
- (iv) all fixtures and features which form part of the interior or exterior of any structure or structures referred to in subparagraph (i) or (iii);

"works" includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

Section 3 :

3.—

(1) In this Act, except where the context otherwise requires, "development"

means—

- (a) the carrying out of any works in, on, over or under land, or the making of any material change in the use of any land or structures situated on land, or
- (b) development within the meaning of Part XXI (inserted by section 171 of the Maritime Area Planning Act 2021).

Section 4 :

4.—

(1) The following shall be exempted developments for the purposes of this Act—

(h) development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;

3) A reference in this Act to exempted development shall be construed as a reference to development which is—

- (a) any of the developments specified in subsection (1), or
- (b) development which, having regard to any regulations under subsection (2), is exempted development for the purposes of this Act.

(4A) Notwithstanding subsection (4), the Minister may make regulations prescribing development or any class of development that is—

- (a) authorised, or required to be authorised by or under any statute (other than this Act) whether by means of a licence, consent, approval or otherwise, and
- (b) as respects which an environmental impact assessment or an appropriate assessment is required,
to be exempted development.

Planning and Development Regulations 2001(as amended).

Article 6

(1) Subject to article 9, development of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1.

Article 9(1) Note see Regulations for full Article

Development to which article 6 relates shall not be exempted development for the purposes of the Act—

(a) if the carrying out of such development would—

< See Regulations for List>

Schedule 2 : Part 1

CLASS 1

The extension of a house, by the construction or erection of an extension (including a conservatory) to the rear of the house or by the conversion for use as part of the house of any garage, store, shed or other similar structure attached to the rear or to the side of the house.

Conditions/ Limitations

1. (a) Where the house has not been extended previously, the floor area of any such extension shall not exceed 40 square metres.
(b) Subject to paragraph (a), where the house is terraced or semi-detached, the floor area of any extension above ground level shall not exceed 12 square metres.
(c) Subject to paragraph (a), where the house is detached, the floor area of any extension above ground level shall not exceed 20 square metres.
2. (a) Where the house has been extended previously, the floor area of any such extension, taken together with the floor area of any previous extension or extensions constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 40 square metres.
(b) Subject to paragraph (a), where the house is terraced or semi-detached and has been extended previously, the floor area of any extension above ground level taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 12 square metres.
(c) Subject to paragraph (a), where the house is detached and has been extended previously, the floor area of any extension above ground level, taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 20 square metres.
3. Any above ground floor extension shall be a distance of not less than 2 metres from any party boundary.
4. (a) Where the rear wall of the house does not include a gable, the height of the walls of any such extension shall not exceed the height of the rear wall of the house.

(b) Where the rear wall of the house includes a gable, the height of the walls of any such extension shall not exceed the height of the side walls of the house.

(c) The height of the highest part of the roof of any such extension shall not exceed, in the case of a flat roofed extension, the height of the eaves or parapet, as may be appropriate, or, in any other case, shall not exceed the height of the highest part of the roof of the dwelling.

5. The construction or erection of any such extension to the rear of the house shall not reduce the area of private open space, reserved exclusively for the use of the occupants of the house, to the rear of the house to less than 25 square metres.

6. (a) Any window proposed at ground level in any such extension shall not be less than 1 metre from the boundary it faces.

(b) Any window proposed above ground level in any such extension shall not be less than 11 metres from the boundary it faces.

(c) Where the house is detached and the floor area of the extension above ground level exceeds 12 square metres, any window proposed at above ground level shall not be less than 11 metres from the boundary it faces.

7. The roof of any extension shall not be used as a balcony or roof garden.

Class 50

(a) The demolition of a building, or buildings, within the curtilage of—

- (i) a house,
- (ii) an industrial building,
- (iii) a business premises, or
- (iv) a farmyard complex.

(b) The demolition of part of a habitable house in connection with the provision of an extension or porch in accordance with Class 1 or 7, respectively, of this Part of this Schedule or in accordance with a permission for an extension or porch under the Act.

Conditions/ Limitations :

1. No such building or buildings shall abut on another building in separate ownership.

2. The cumulative floor area of any such building, or buildings, shall not exceed:

(a) in the case of a building, or buildings within the curtilage of a house, 40 square metres, and

(b) in all other cases, 100 square metres.

3. No such demolition shall be carried out to facilitate development of any class prescribed for the purposes of section 176 of the Act

Assessment

The Section 5 application seeks a declaration as to whether the construction of a rear extension of 17.5sqm is or is not development or is or is not exempted development.

The residential dwelling the subject of the referral is located in Arklow off Sea Road, and forms part of a terrace of 6 units. The unit has a rear yard area which is limited. At the back of the yard area is a linear structure running to the back of most of the terraced houses which is mainly in use as a shed, and beyond is a rear pedestrian access which allows access to the rear lands. The rear lands are divided into plots and form the amenity space for the terrace units. No.2s amenity area is a long linear area of private open space c. 926sqm which is located c. 4m to the southwest, and sitting behind No. 1 Seabank Terrace. It appears that the private openspace for all the terrace units is staggered such that they are not located directly to the rear of the house which they serve but sit behind the adjoining unit.

The first question to be asked is whether the identified works are or are not development. It is evident that the referral which involves operations of demolition/construction would be works having regard to Section 2 of the Planning and Development Act 2000(as amended). These works would come within the definition of development as set out in to Section 3 (1)(a) of the Planning and Development Act 2000(as amended).

The demolition of the shed would come within the description of Class 50 (a) of Part 1 : Schedule 2 of the Planning and Development Regulations 2001(as amended).

The relevant exemption with respect to the construction of the extension is Class 1 of Part 1; Schedule 2 of the Planning and Development Regulations 2001 (as amended) .

Class 1 provides for -

The extension of a house, by the construction or erection of an extension (including a conservatory) to the rear of the house or by the conversion for use as part of the house of any garage, store, shed or other similar structure attached to the rear or to the side of the house.

The extension would come within the description set out under Class 1.

There are a number of limitations with respect to this exemption, and therefore the development must be assessed having regard to them as set out below

Limitations :

Limitation 1 – The extensions would not exceed 40sqm

Limitation 2 – n/a

Limitation 3-n/a

Limitation 4 – Limitation met , Heigh 3.6m

Limitation 5- provides that

5. The construction or erection of any such extension to the rear of the house shall not reduce the area of private open space, reserved exclusively for the use of the occupants of the house, to the rear of the house to less than 25 square metres.

The area to the rear of the house will be reduced to below 25sqm . The private open space to the southwest is not to the rear of No. 2 and therefore cannot be utilised in this instance to fulfil the requirement of this limitation given it species that it relates to the area to the rear of the house. Therefore this limitation is not met.

Limitation 6- No side windows, and rear window is c. 1m from the boundary wall.

Limitation 7 – No balcony being proposed

The proposed extension given the above assessment is not exempted development.

Recommendation :

With respect to the query under Section 5 of the Planning and Development Act 2000(as amended), as to whether

The construction of a rear extension of 17.5sqm at 2 Seabank Terrace, Arklow, Co. Wicklow.

constitutes exempted development within the meaning of the Planning and Development Acts, 2000(as amended).

The Planning Authority consider that the

The construction of a rear extension of 17.5sqm **is Development and is Not Exempted development.**

Main Considerations with respect to Section 5 Declaration :

- a) The details submitted with the Section 5 Declaration Application
- b) The layout and configuration of the main areas of private amenity space for the residential units in Seabank Terrace, which are staggered, with the location of main private open space serving No. 2 located 4m to the southwest and not to the rear.

- c) Sections 2, 3 and 4 of the Planning and Development Act 2000 (as amended)
- d) Article 6,9 and Class 1 and Class 50 of Schedule 2: Part 1 of the Planning and Development Regulations 2001(as amended)

Main Reasons with respect to Section 5 Declaration :

- (i) The demolition of the shed and construction of a rear extension a would come within the meaning of works as set out in Section 2 of the Planning and Development Act 2000(as amended)
- (ii) These works are development having regard to the provisions of Section 3 of the Planning and Development Act 2000(as amended)
- (iii) The demolition of the shed would come within the description and provisions of Class 50(a) of Part 1; Schedule 2 of the Planning and Development Regulations 2001 (as amended)
- (iv) The construction of a rear extension of 17sqm would come within the description set out in Class 1 of Part 1; Schedule 2 of the Planning and Development Regulations 2001 (as amended) . However, the extension would not meet the Limitation set out under Part 5 of that Class as the private open space to the rear would be reduced to less than 25sqm

Ex. Birmingham T15

15/1/2026

MEMORANDUM

WICKLOW COUNTY COUNCIL

TO: Chris Garde
Executive Planner

FROM: Nicola Fleming
Staff Officer

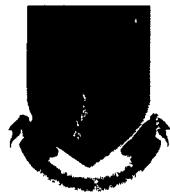
**RE:- EX147/2025 - Declaration in accordance with Section 5 of the
Planning & Development Acts 2000 (as amended)**

I enclose herewith for your attention application for Section 5 Declaration received 19/12/2025.

The due date on this declaration is the 25/01/2026.



Clerical Officer
Planning Development & Environment



Comhairle Contae Chill Mhantáin

Wicklow County Council

Pleanáil, Forbairt Eacnamaíochta agus Tuaithe
Planning, Economic and Rural Development

Áras An Chontae / County Buildings
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Brian & Rose McGrath
2 Seabank Terrace
Arklow
Co. Wicklow

23rd December 2025

RE: Application for Certificate of Exemption under Section 5 of the Planning and Development Acts 2000 (as amended). – EX147/2025

A Chara

I wish to acknowledge receipt on 19/12/2025 full details supplied by you in respect of the above Section 5 application. A decision is due in respect of this application by 25/01/2026

Mise, le meas

Nicola Fleming
Staff Officer
Planning, Economic & Rural Development



Wicklow County Council
County Buildings
Wicklow
0404-20100

19/12/2025 11 51 35

Receipt No L1/0/356492
***** REPRINT *****

BRIAN AND ROSE MCGRATH
2 SEABANK TERRACE
ARKLOW

EXEMPTION CERTIFICATES	80 00
GOODS	80 00
VAT Exempt/Non-vatable	
 Total	80 00 EUR

Tendered	
Credit Card	80 00
2 SEABANK TERRACE	

Change	0 00
--------	------

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**APPLICATION FORM FOR A
DECLARATION IN ACCORDANCE WITH SECTION 5 OF THE PLANNING &
DEVELOPMENT ACTS 2000(AS AMENDED) AS TO WHAT IS OR IS NOT
DEVELOPMENT OR IS OR IS NOT EXEMPTED DEVELOPMENT**

1. Applicant Details

(a) Name of applicant: BRIAN & ROSE MC GRATH
Address of applicant: 2 SEABANK TERRACE,
ARROW, CO. WICKLOW

Note Phone number and email to be filled in on separate page.

2. Agents Details (Where Applicable)

(b) Name of Agent (where applicable) LEONOR STEPHAN
Address of Agent: SHEVEROE, RATHDRUM,
CO. WICKLOW

Note Phone number and email to be filled in on separate page.

WICKLOW COUNTY COUNCIL

19.7.2005

PLANNING

3. Declaration Details

i. Location of Development subject of Declaration 2 SEABANK
TERACES, DUBLIN, CO. DUBLIN

ii. Are you the owner and/or occupier of these lands at the location under i. above ?
Yes/No.

iii. If 'No' to ii above, please supply the Name and Address of the Owner, and or occupier _____

iv. Section 5 of the Planning and Development Act provides that : If any question arises as to what, in any particular case, is or is not development and is or is not exempted development, within the meaning of this act, any person may, on payment of the prescribed fee, request in writing from the relevant planning authority a declaration on that question. You should therefore set out the query for which you seek the Section 5 Declaration

EXTENSION TO REAR IS IT EXEMPT
GIVEN THE 25.50M PRIVATE OPEN
SPACE IS NON - ADJOINING.

Additional details may be submitted by way of separate submission.

v. Indication of the Sections of the Planning and Development Act or Planning Regulations you consider relevant to the Declaration

EXEMPTED EXTENSION UNDER 40SQM
TO THE REAR

Additional details may be submitted by way of separate submission.

vi. Does the Declaration relate to a Protected Structure or is it within the curtilage of a Protected Structure (or proposed protected structure) ? NO

vii. List of Plans, Drawings submitted with this Declaration Application _____

24-25.01. SITE IDENTIFICATION MAP,

24-25-02 SITE LAYOUT PLAN,

24.05.03A EXISTING SITE PLAN

24.05.03B PROPOSED SITE PLAN

24.05.03C EXISTING & PROPOSED SITE PLAN

24.05.04 PROPOSED PLANS

24.05.05 PROPOSED ELEVATIONS

24.05.06 PROPOSED ELEVATIONS & SECTION

24.05.07 EXISTING PLAN

viii. Fee of € 80 Attached ? YES

Signed : John S.

Dated : 18.12.25.

Additional Notes :

As a guide the minimum information requirements for the most common types of referrals under Section 5 are listed below :

A. Extension to dwelling - Class 1 Part 1 of Schedule 2

- Site Location Map
- Floor area of structure in question - whether proposed or existing.
- Floor area of all relevant structures e.g. previous extensions.
- Floor plans and elevations of relevant structures.
- Site Layout Plan showing distance to boundaries, rear garden area, adjoining dwellings/structures etc.

B. Land Reclamation -

The provisions of Article 8 of the Planning and Development Regulations 2001 (as amended) now applies to land reclamation, other than works to wetlands which are still

governed by Schedule 2, Part 3, Class 11. Note in addition to confirmation of exemption status under the Planning and Development Act 2000(as amended) there is a certification process with respect to land reclamation works as set out under the European Communities (Environmental Impact Assessment) (Agriculture) Regulations 2011 S.I. 456 of 2011. You should therefore seek advice from the Department of Agriculture, Fisheries and Food.

Any Section 5 Declaration should include a location map delineating the location of and exact area of lands to be reclaimed, and an indication of the character of the land.

C. Farm Structures - Class 6 -Class 10 Part 3 of Schedule 2.

- Site layout plan showing location of structure and any adjoining farm structures and any dwellings within 100m of the farm structure.
- Gross floor area of the farm structure
- Floor plan and elevational details of Farm Structure and Full details of the gross floor area of the proposed structure.
- Details of gross floor area of structures of similar type within the same farmyard complex or within 100metres of that complex.



description
Historic 6" Latest Edition
Publisher / Source
Tate & Sons
Data Source / Reference
1:10,560
V1040
Revision Date =
Survey Date =
Levelled Date = 31-Dec-1910
V1041
Revision Date =
Survey Date =
Levelled Date = 31-Dec-1910
V1042
Revision Date =
Survey Date =
Levelled Date = 31-Dec-1910
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ULXULY: 7289132824,6748536778
URXURY: 7277328824,6768536778
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Centre Point Coordinates
X,Y = 725274.2884,674298.3678
Data Extraction Date
15-Dec-2005
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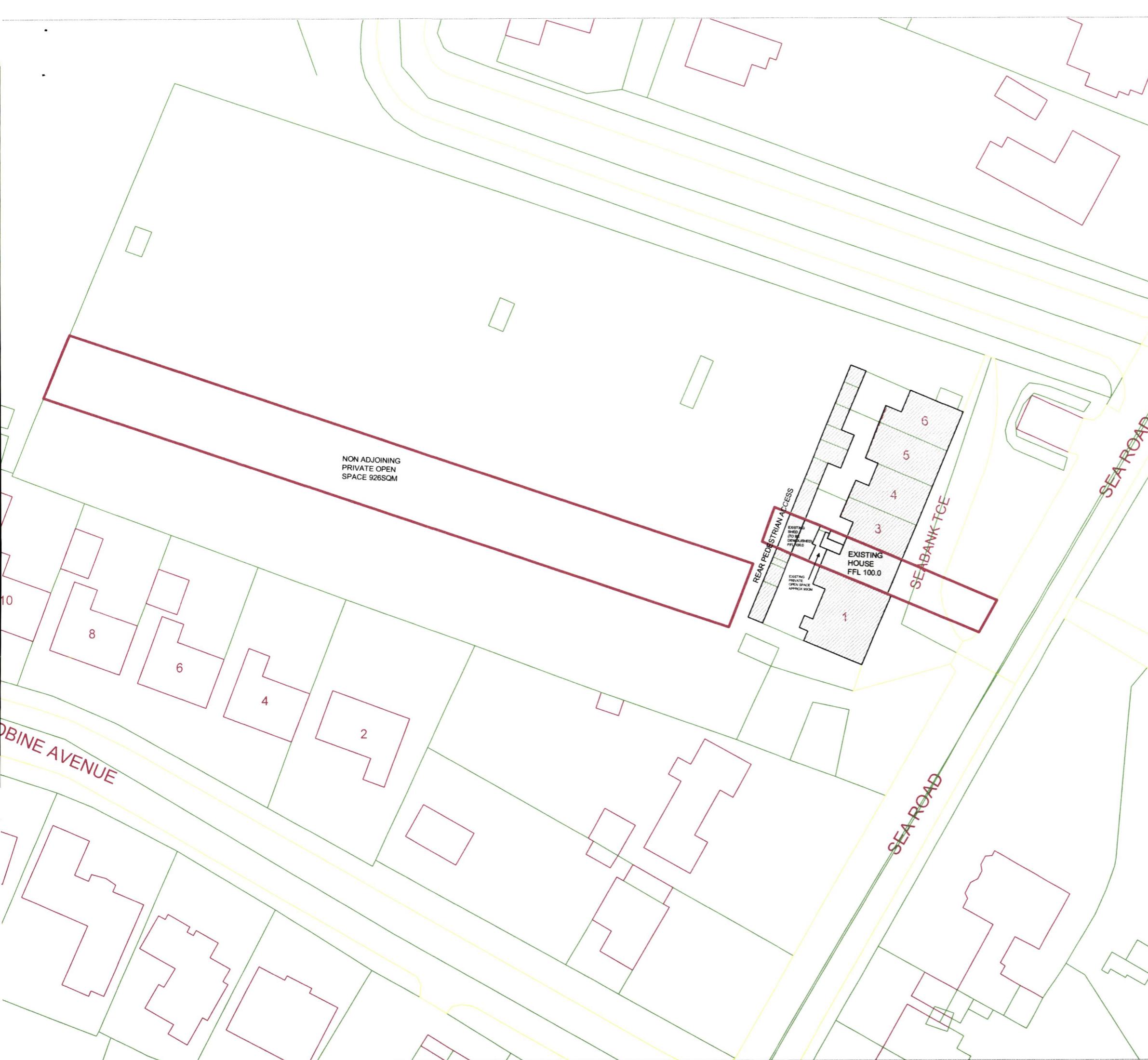
E A R C		S
PROJECT: Proposed extension to house at 2 Seabank Terrace, Arklow, Co. Wicklow		
DWG TITLE: Site Identification Map		
DWG NO: 24-25-01		SCALE: 1:10,560
CLIENT: Brian & Rose McGrath		DATE: 18-12-25

Eleanor Sheehan
 Dip. Arch.
 B. Arch. Sc.
 MRIBA



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A	R	W.H.A.		W.H.A.
PROJECT: Proposed extension to house at 2 Seabank Terrace, Arklow, Co. Wicklow				
DWG TITLE: Site Layout Plan				
DWG NO: 24-25-02		SCALE: 1:1,000		
CLIENT: Brian & Rose McGrath		DATE: 18-12-25		



Description: Digital Landscape Model (DLM)

Publisher / Source: Taitte Éireann

Data Source / Reference: PRIME2

File Format: Autodesk AutoCAD (DWG_R2013)

File Name: v_50508311_1.dwg

Clip Extent / Area of Interest (AOI):

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LRX,LRY= 725390.7824,674202.3678
ULX,ULY= 725157.7824,674374.3678
URX,URY= 725390.7824,674374.3678

Projection / Spatial Reference:

Projection= IRENET95_Irish_Transverse_Mercator

Centre Point Coordinates:

X,Y= 725274.2824,674288.3678

Reference Index:

Map Series | Map Sheets
1:1,000 | 4428-07

Data Extraction Date:

Date= 15-Dec-2025

Source Data Release:

DCMLS Release V1.194.121

Product Version:

Version= 1.4

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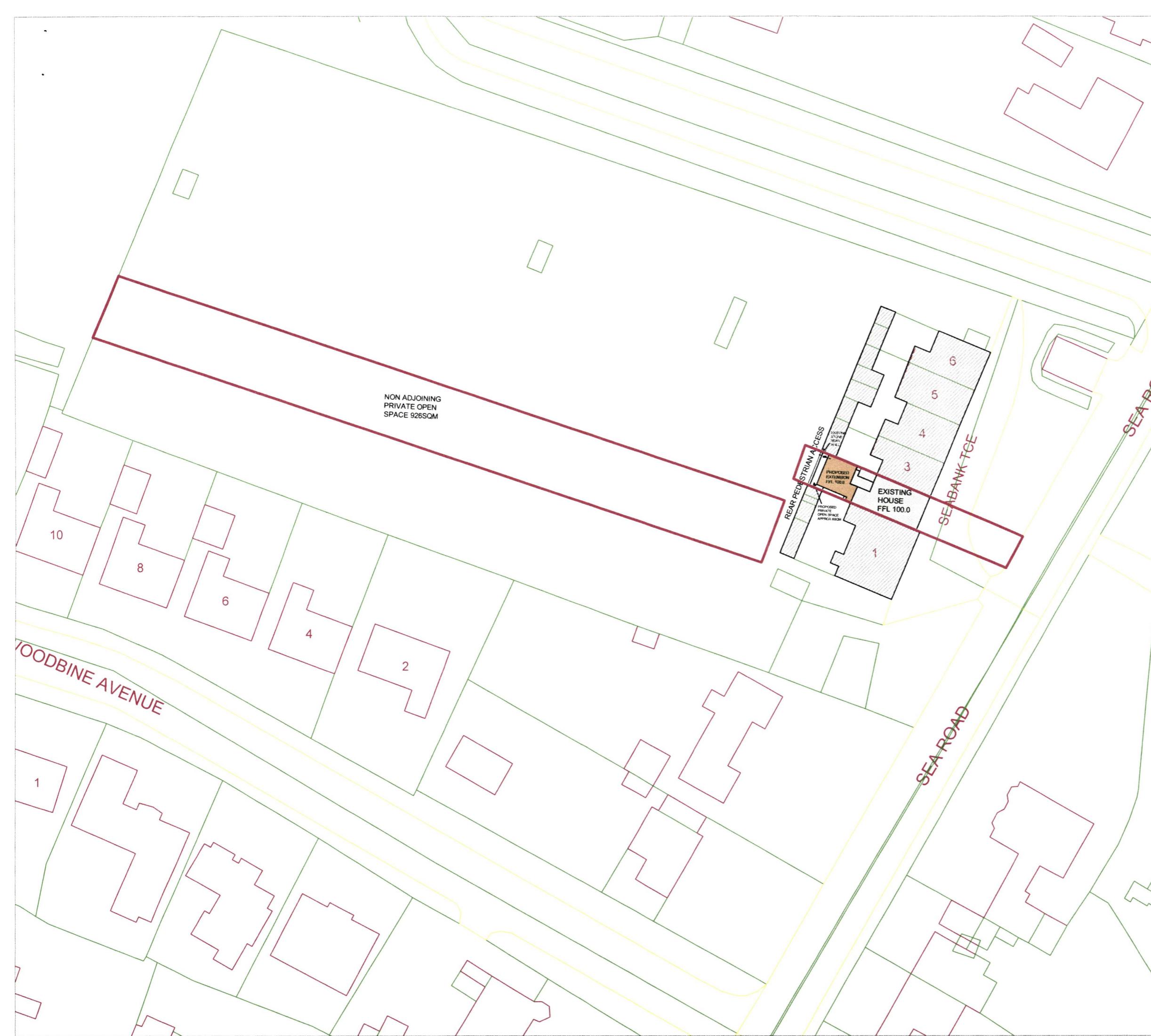
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EXISTING SITE PLAN

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E A R C	S	ESARC ESARC	 ROYAL INSTITUTE OF ARCHITECTS OF IRELAND REGISTERED TRADE MARK	Eleanor Sheehan Dip. Arch B. Arch. Sc MRB.I
PROJECT: Proposed extension to house at 2 Seabank Terrace, Arklow, Co. Wicklow				
DWG TITLE: Site Plan				
DWG NO:	24-25-03A	SCALE: 1:500		
CLIENT:	Brian Mc Grath	DATE: 18-12-25		



Description:
=====

Digital Landscape Model (DLM)

Publisher / Source:
=====

Talte Éireann

Data Source / Reference:
=====

PRIME2

File Format:
=====

Autodesk AutoCAD (DWG_R2013)

File Name:
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v_50508311_1.dwg

Clip Extent / Area of Interest (AOI):
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LRX,LRY= 725390.7824,674202.3678
ULX,ULY= 725157.7824,674374.3678
URX,URY= 725390.7824,674374.3678

Projection / Spatial Reference:
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Projection= IRENET95_Irish_Transverse_Mercator

Centre Point Coordinates:
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X,Y= 725274.2824,674288.3678

Reference Index:
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Map Series | Map Sheets
1:1,000 | 4428-07

Data Extraction Date:
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Date= 15-Dec-2025

Source Data Release:
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DCMS Release V1194.121

Product Version:
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Version= 1.4

License / Copyright:
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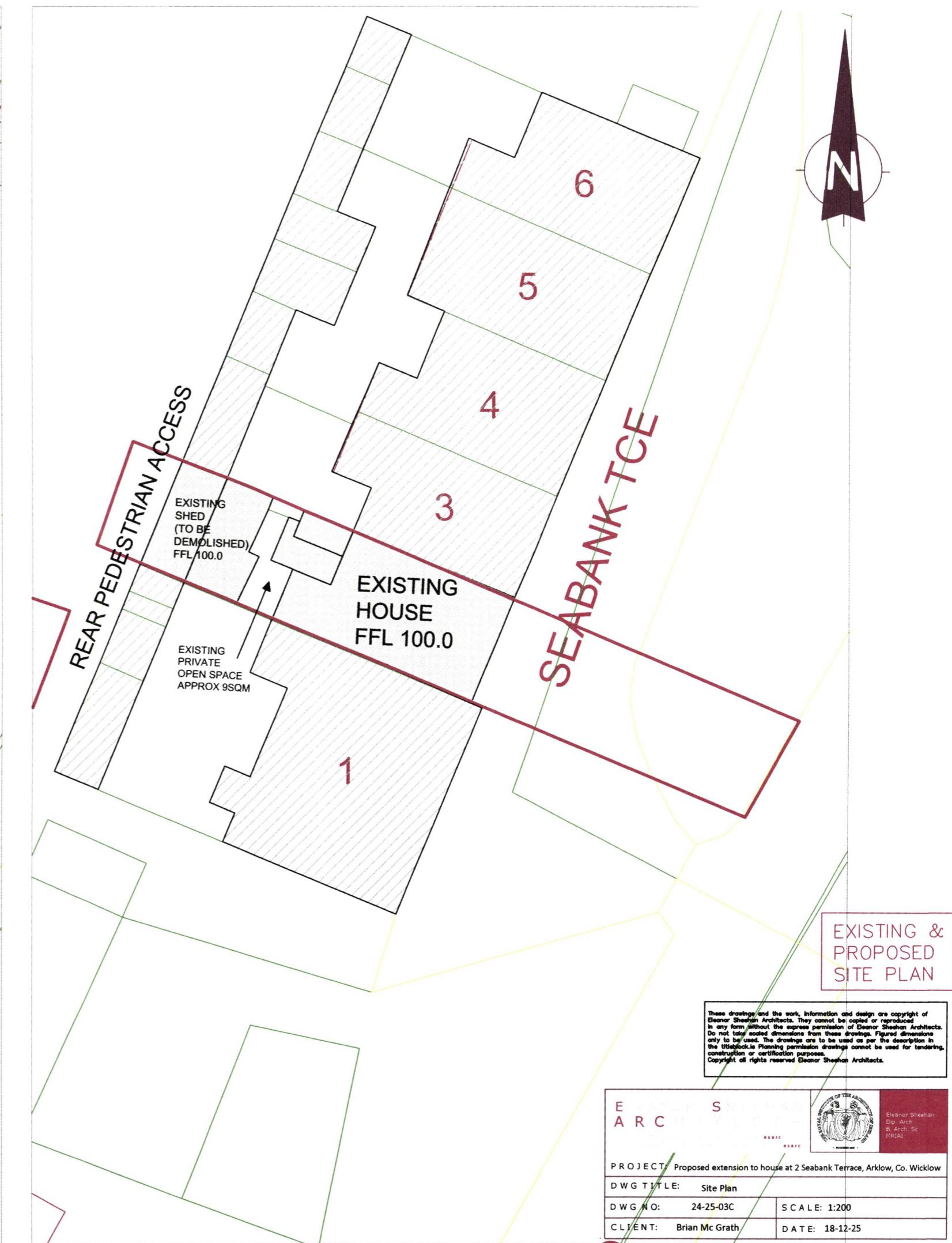
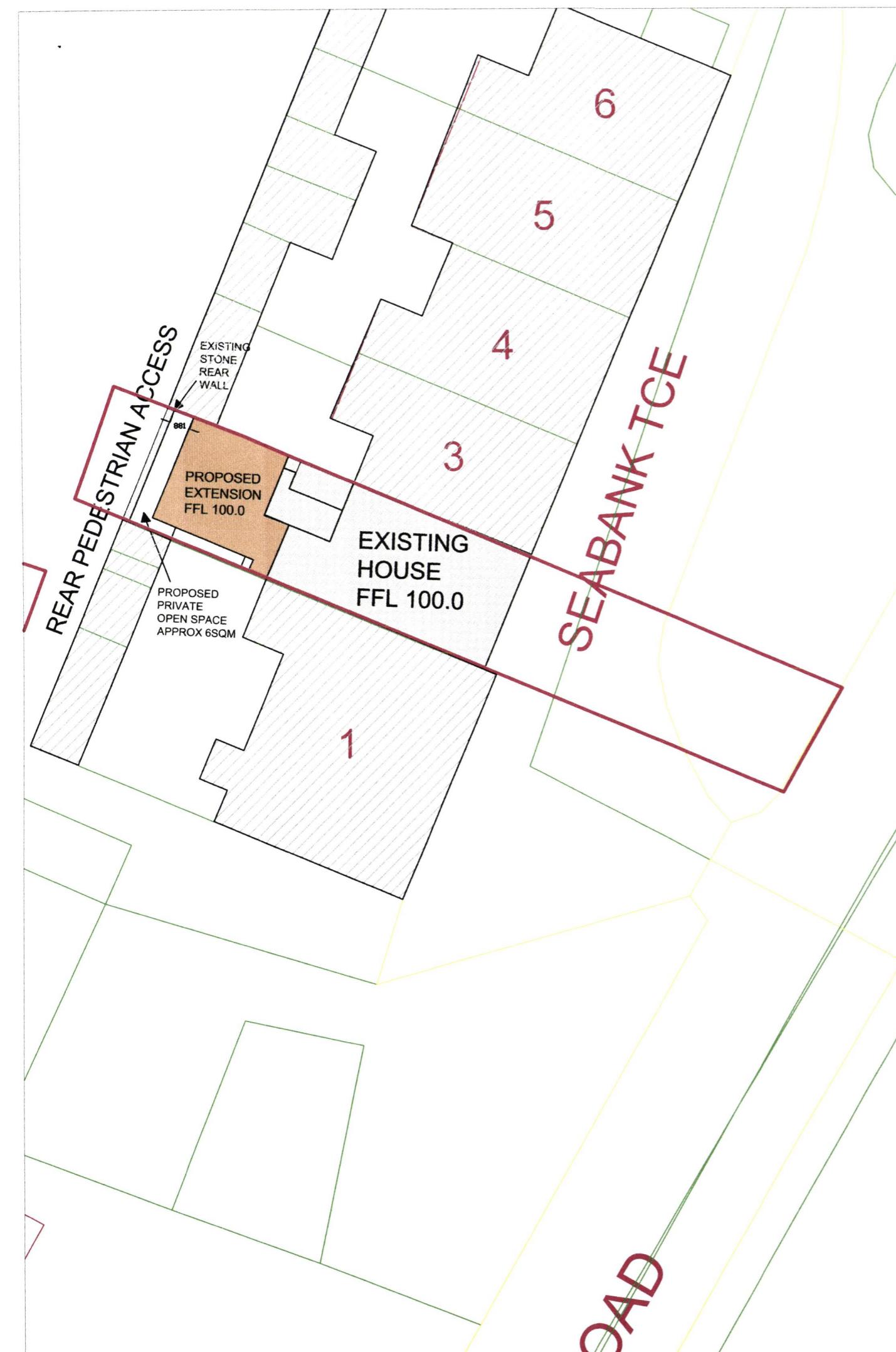
Compiled and published by:
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Phoenix Park,
Dublin 8,
Ireland.
D08F6E4

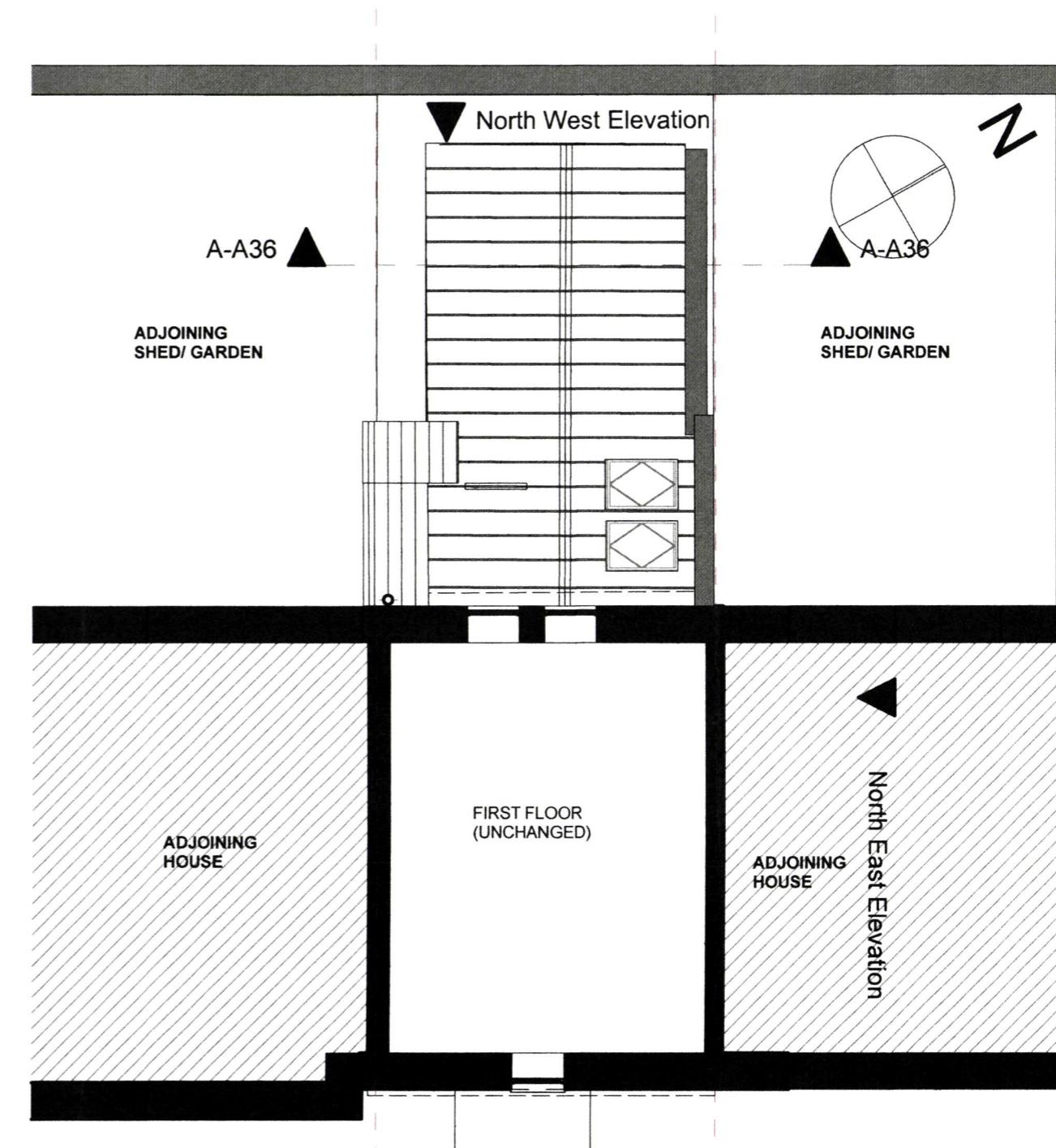
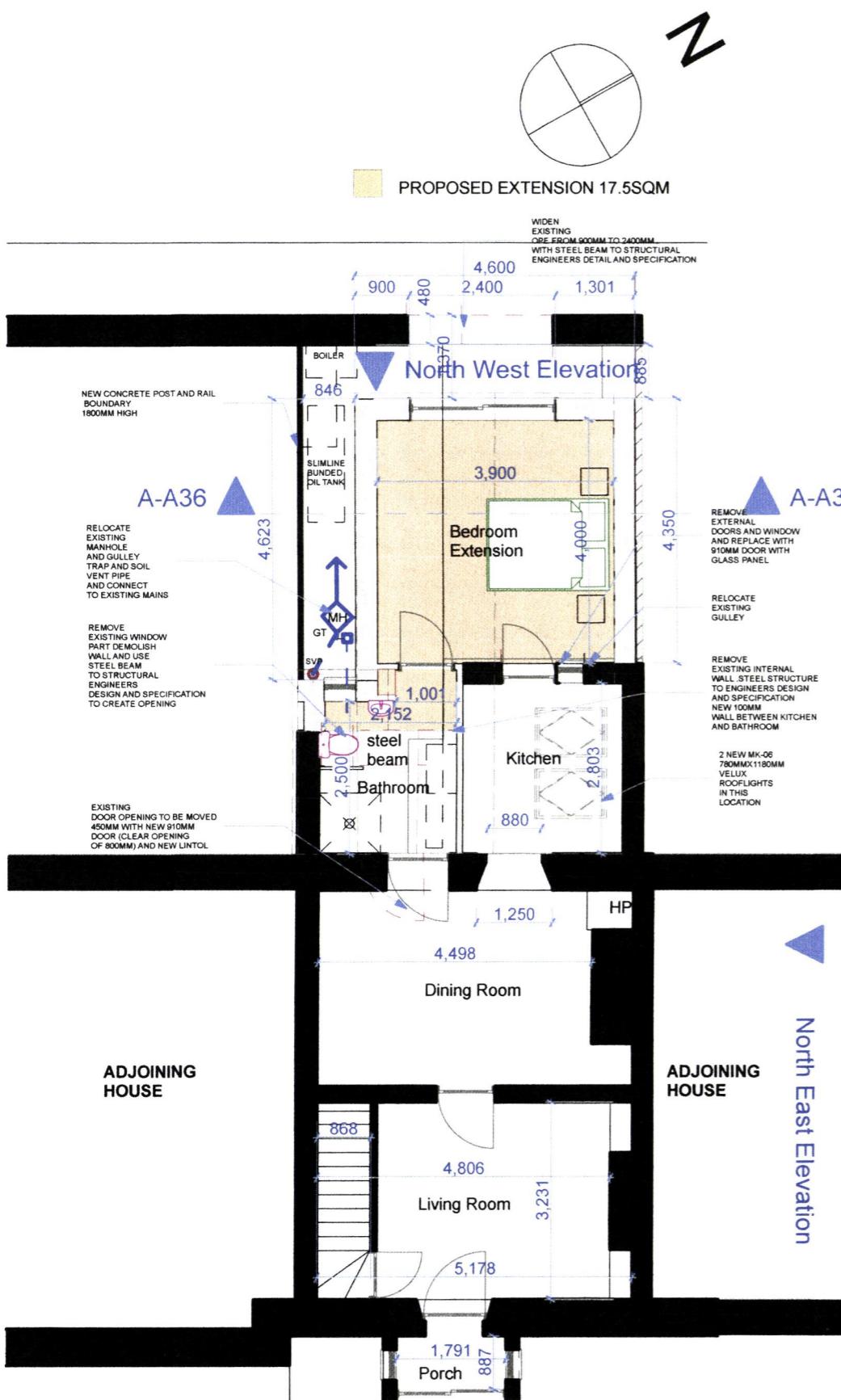
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PROPOSED SITE PLAN

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E  S A R C			ESARC ESARC THE ROYAL INSTITUTE OF BRITISH ARCHITECTS MEMBER SWA	Eleanor Sheehan Dip. Arch. B. Arch. St MRIAI
PROJECT: Proposed extension to house at 2 Seabank Terrace, Arklow, Co. Wicklow				
DWG TITLE: Site Plan				
DWG NO: 24-25-03B		SCALE: 1:500		
CLIENT: Brian McGrath		DATE: 18-12-25		





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FOR SECTION 5
APPLICATION
PURPOSES ONLY

ELEANOR SHEEHAN
ARCHITECTS

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Ph: 0404 43832 Mob: 087 4117421 Email: eleanor@esarc.ie

GF-Ground Floor (24), Brian Rose Mc

GrathExtension1, Brian Rose Mc

GrathExtension2, 01-First Floor (9)

Drawing Name

Client Brian & Rose Mc Grath

Job Title Extension to House at 2 Seabank Terrace,
Sea Road, Arklow, Co. Wicklow

Dwg no

24/25/04

Date

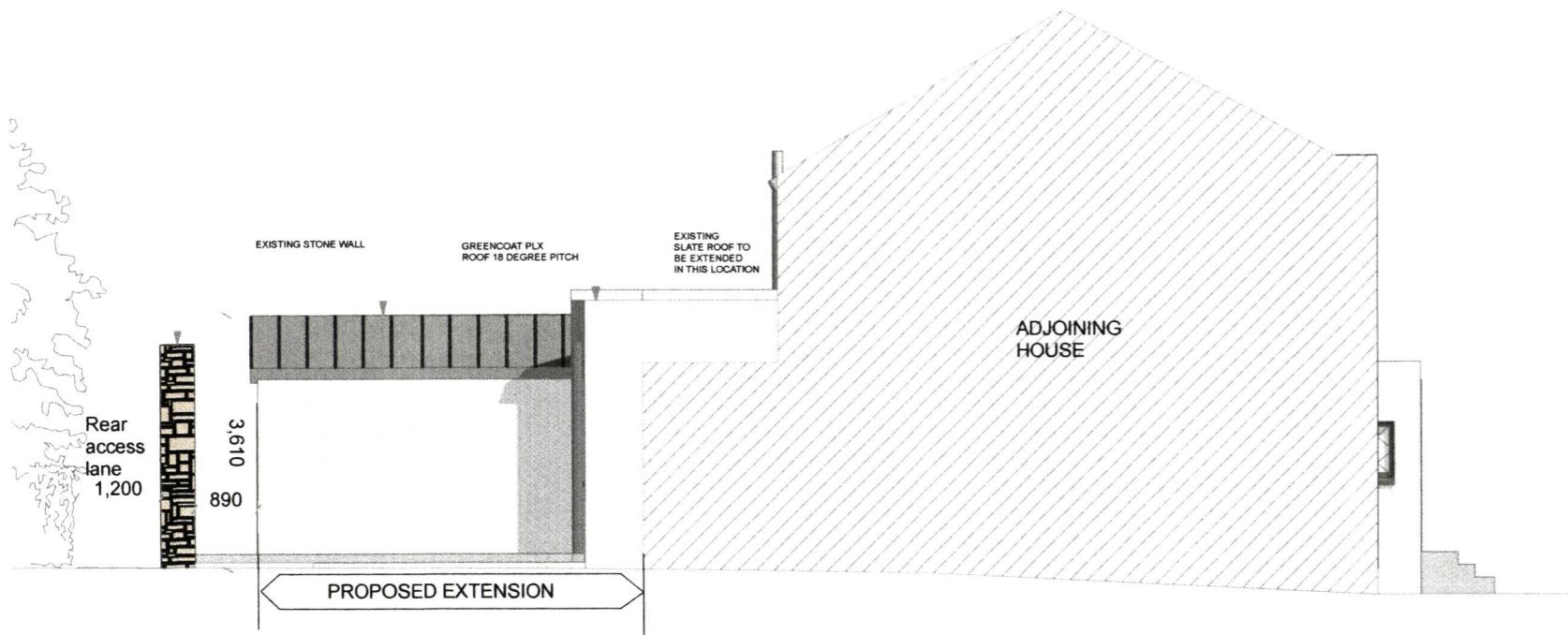
16/12/25

Drawing Scale

1:100

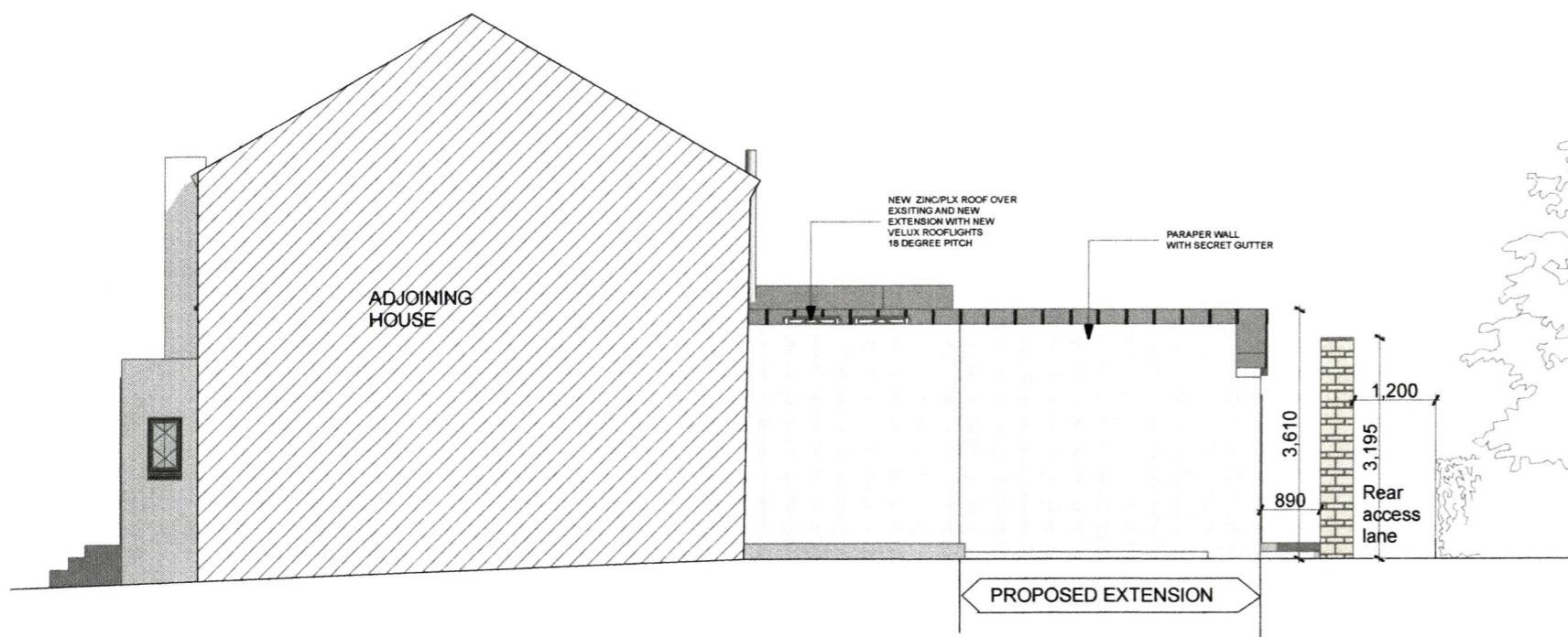


Eleanor Sheehan
Dip. Arch
B. Arch Sc
MRAI



South West Elevation Elevation

1:100



North East Elevation Elevation

1:100

FOR SECTION 5
APPLICATION
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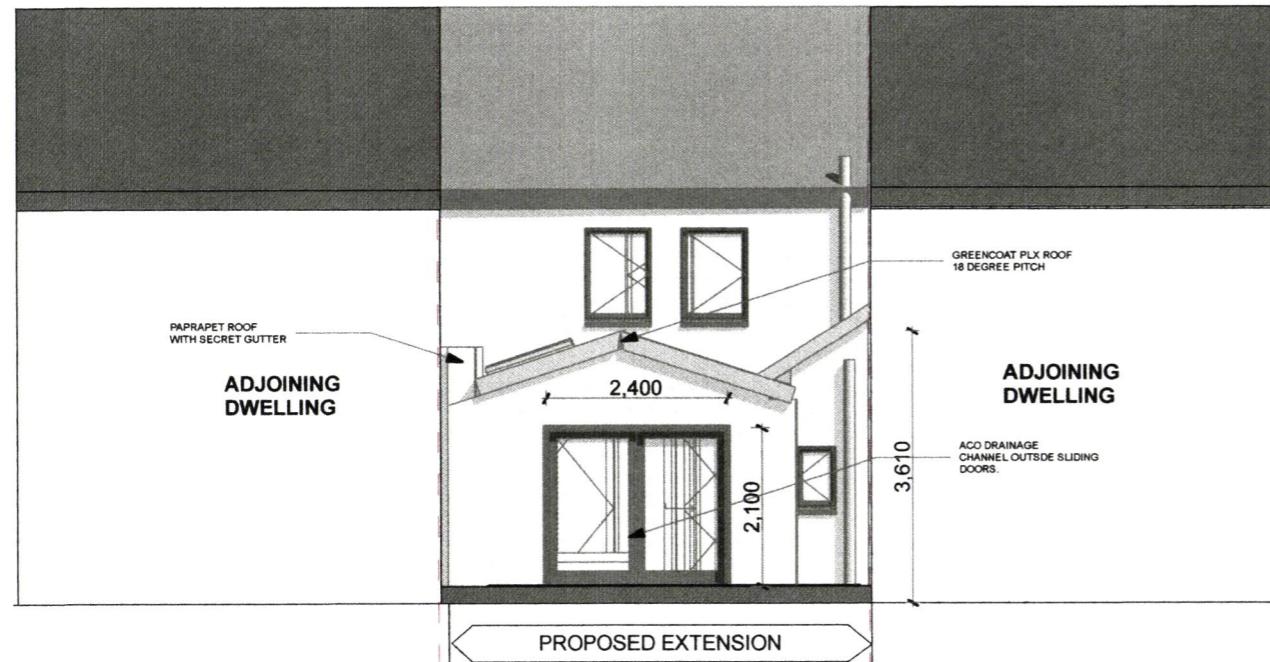
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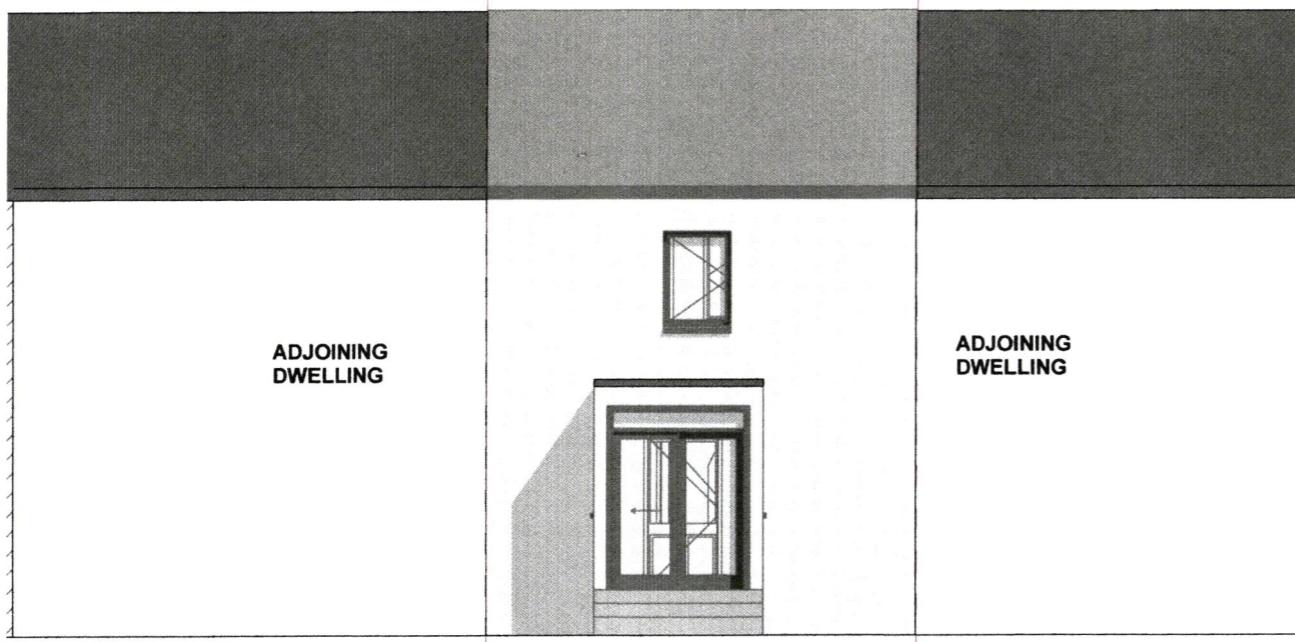


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Dip. Arch
B. Arch Sc
MRIAI

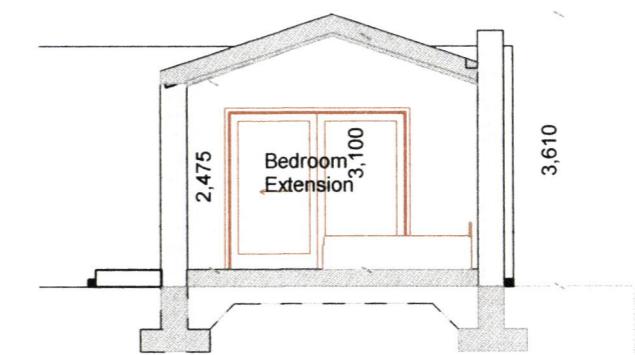
North East Elevation Elevation, South West Elevation Elevation		Dwg no
Drawing Name	Client	Date
	Brian & Rose Mc Grath	16/12/25
Job Title Extension to House at 2 Seabank Terrace, Sea Road, Arklow, Co. Wicklow		Drawing Scale
		1:100



2 North West Elevation Elevation 1:100



1 South Elevation Elevation 1:100



3 Building Section 1:100

FOR SECTION 5
APPLICATION
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MRIA

South Elevation Elevation, North West
Elevation Elevation, Building Section
Drawing Name

Client Brian & Rose Mc Grath

Job Title Extension to House at 2 Seabank Terrace,
Sea Road, Arklow, Co. Wicklow

Dwg no

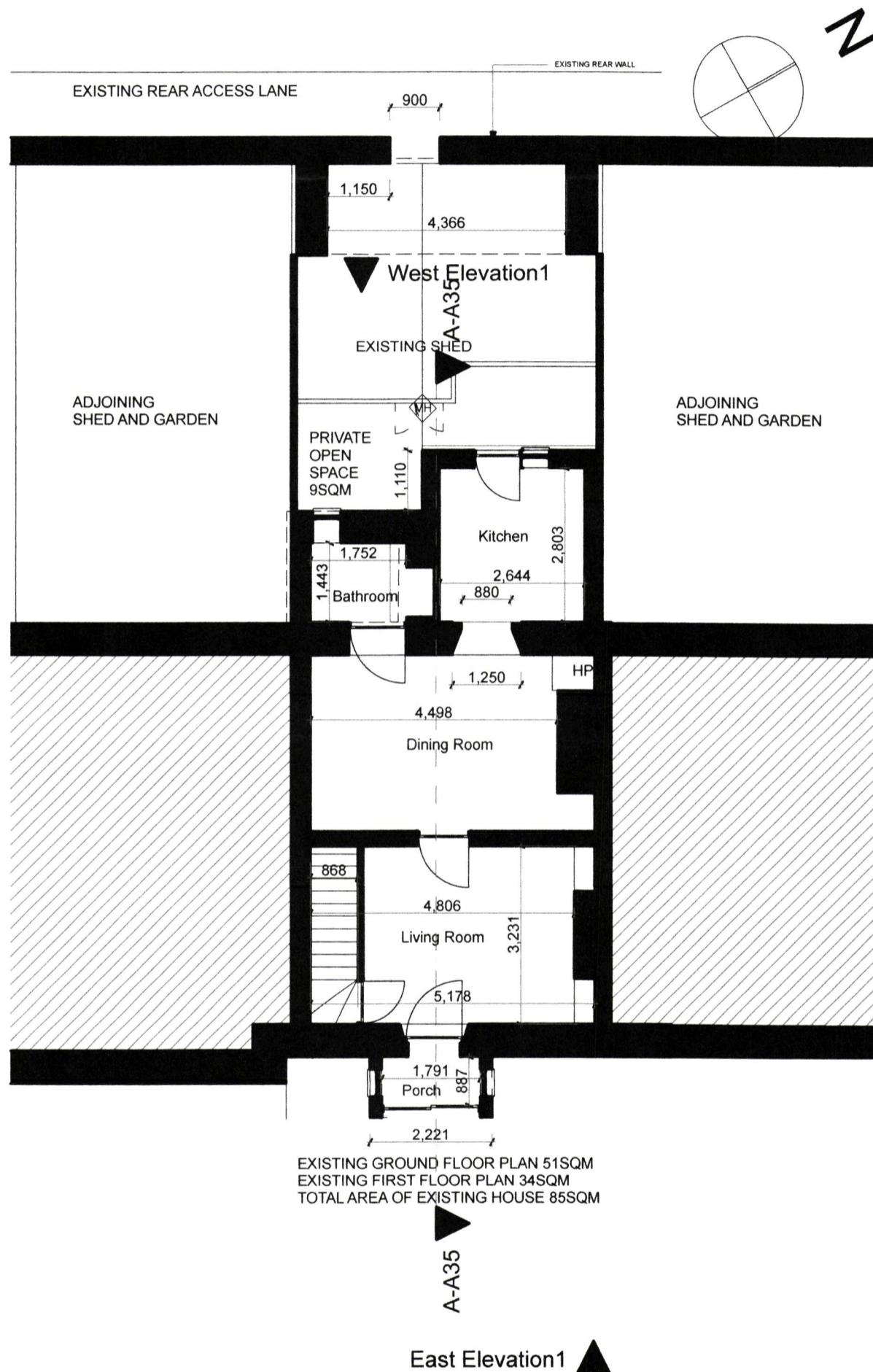
02/25/06

Date

16/12/25

Drawing Scale

1:100



1

GF-Ground Floor (24)

1:100

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EXISTING PLANS

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MRIA

Dwg no

24/25/07

GF-Ground Floor (24)

Brian & Rose McGrath

Date

16/12/25

Proposed extension to house at 2 Seabank terrace, Sea Road, Arklow, Co. Wicklow

Drawing Scale

1:100